

# **Eye Witness Works** Sheffield

## **Design Proposals**

Harrison Fisher & Co

**06-028** May 2007 - Rev 001

## Introduction

*“Urban design is the art of making places for people. it includes the way places work and matters such as community safety, as well as how they look. It concerns the connection between people and places, movement and urban form, nature and the built fabric, and the processes for ensuring successful villages, towns and cities” (DETR, By Design 2000)*

This Design development document aims to assess the development potential of the Eye Witness Works and Ceylon Works Site's. This assessment is based upon a constraints and opportunities approach considering the physical, social and historical aspects from the wider context to a more site specific context.

Taking into account the connectivity and accessibility, landscape, views and vistas, urban grain, townscape character, existing building and other contextual analysis we can create a clear picture of the main constraints and opportunities for the above site.

The analysis will conclude in testing and proposing a development option.

## The Site



This 0.826 acre site spans across what was two separate sites, be it under one ownership; these are The Eye Witness Works and the Ceylon Works. These two sites are separated by Egerton Lane and are bounded to the South by Milton Street and to the East and West by Headsford Street and Thomas Street.

The Eye Witness is a large steam-powered, integrated cutlery works established in the early 1850s. The works were built around three yards in several phases from this date onwards providing offices, warehousing and showrooms to the principle building along Milton Street. To the rear and clustered around the courtyards (which have latterly been filled in) were the workshop ranges containing forges, grinding and buffing.

### Planning Overview

The site is currently designated as fringe business and industry use within the Sheffield UDP. Within policy IB6 other acceptable uses include Housing (C3), Residential Institutions (C2), Hotels (C1) as well as Small Shops (A1), Offices used by the public (A2), Food and Drink Outlets (A3) and Leisure/ Recreation Facilities (D2).

The Eye Witness site fronting Milton Street has a Grade 2\* Listing whilst the Ceylon Works site has a Grade 2 Listing.

### Neighbouring Activity

On Milton Street opposite the Eye witness works planning permission has been approved for a 6 - 7 storey residential led mixed use development.

Outline Planning Consent has been sought for a residential mixed-use scheme on the former Mercedes Benz dealership nearby. The scheme is dominated by a substantial tower of (20+ Storeys) facing Hanover Way.

# Site Photographs



Site Photographs



# Urban Design Analysis

## Figure Ground Study

The blocks within the Milton Street area follow a rectilinear grid pattern. The building footprints follow this pattern and generally are built up to the back edge of the pavement. Whilst the blocks are long they are shallow in depth and the buildings mass is broken down by a series of internal courtyards.



## Building Height

The predominant building heights within this area are 5-8m this has been driven by the predominant industrial use in the area. The area is in transition with a general increase in building heights of 15+m for the newer developments pushing NE towards Devonshire Green South towards Hanover Way.

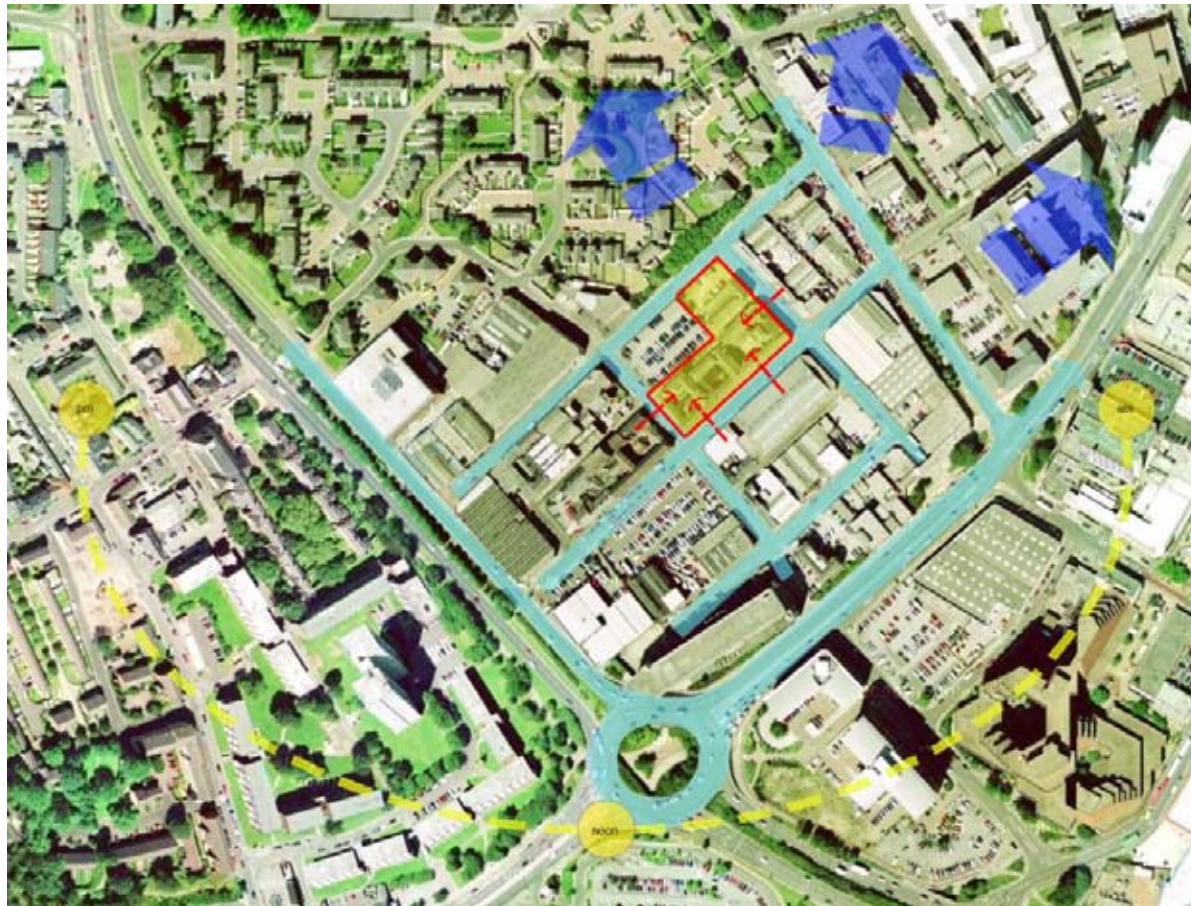


## Land Use

The principle historic land use in this area is for office/ industrial building types. There is a general shift within planning policy allowing new building types to emerge as part of new build and refurbishments. These uses include residential, student accommodation, retail and other commercial uses.

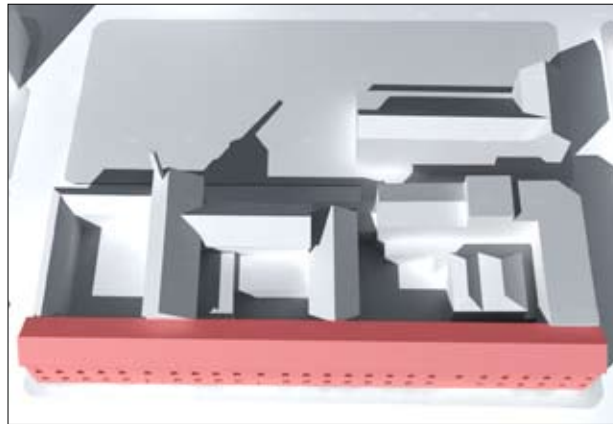


## Site Opportunities



In analysing the site constraints and historical data the following opportunities for the Eye Witness Works site have emerged, these are:

- Reinforce Urban Grid and Active Frontages
- Introduce Visual and Physical Permeability
- Enhance Public Open Space, providing Ecological linkage and a Series of public/private Spaces
- Introduce nodal points to enhance orientation and legibility
- Fragment new buildings to reduce scale and enforce existing figure ground configuration
- Increase in building scale towards the North East corner of the site to act as nodal point from Devonshire Green.



## Demolition Rationale

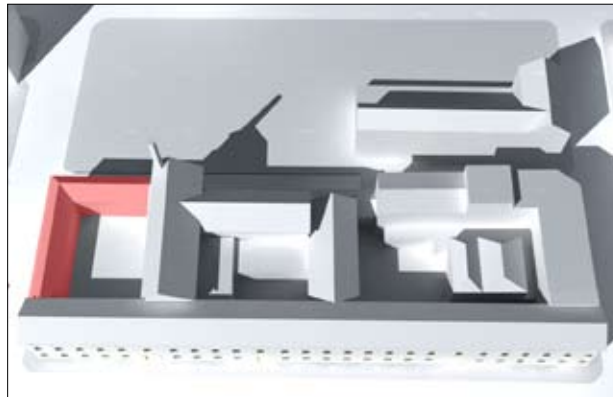
### Milton Street Elevation – Block A

The Principle Frontage along Milton Street was constructed in a series of stages from 1852 through to 1875. This three storey, thirty bay fronted building comprises of four distinct blocks unified under a single double pitched slate roof.

**Architectural:** The principle façade has many features of interest with a first floor plinth, Venetian windows, feature archways to the inner courtyards and extensive use of rustification along its length.

**Structural:** The building has undergone extensive work, principally relating to the removal of some of the internal cross walls and new slates to the roof. There is evidence of some settlement and cracks within the walls but this seems to be historic and does not extend to the later additions.

**Summary:** Whilst the building has had significant alterations it is structurally and materially sound. It is recommended that a full structural survey will be undertaken before any works commence. Architecturally the façade on Milton Street is the principle façade and has many features of historic and architectural interest which should be retained and restored.



## Demolition Rationale

### Headford Street Elevation - Block B

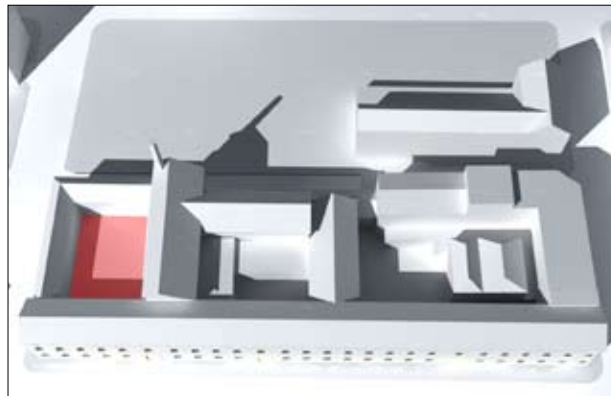
This block seems to be an extension of the Milton Street block and was constructed in the 1850's providing workshop accommodation. This three storey building wraps around the corner onto Egerton Lane and has a double pitched slate roof.

**Architectural:** The façade was originally blank to the lower levels but has had windows inserted at a later stage in an irregular pattern to the window fenestration on the upper levels. The Headford Street elevation is part rendered and there are no architectural features on the exposed brickwork facades.

**Structural:** The brickwork is poor quality, deeply weathered and with a substantial proportion of the bricks spalling. Due to their condition and prevailing winds the brickwork deterioration could not be arrested and as such a render finish has been applied.

**Summary:** The building is in a poor structural and material state, architecturally it has no features of interest. It is recommended that this building be demolished.

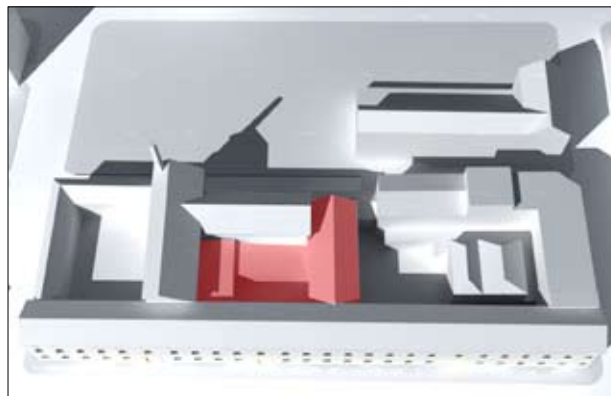
## Demolition Rationale



### **Covered Courtyard - Block C**

The courtyard to the rear of block A and B was covered over in the 1950's with a single storey steel framed structure with inset patent glazing.

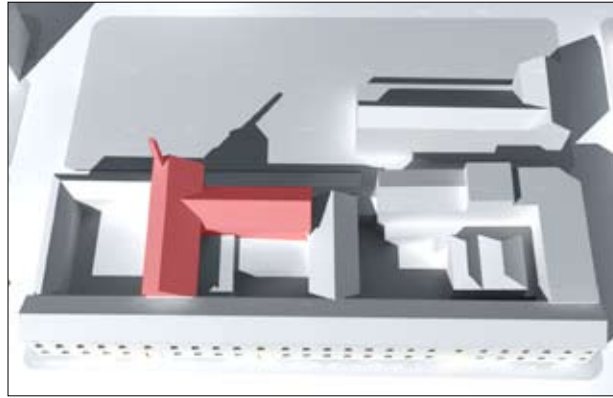
**Summary:** This modern structure whilst structurally sound does not contribute architecturally and hides the façade to Block A. It is recommended that this structure is demolished.



### **Courtyard - Block E**

There has been extensive remodelling to the ground floor with the addition of smaller one to three storey structures within the courtyard dating principally from the late 19th Century through to the 20th Century.

**Summary:** These buildings are principally infill structure which detract from the architectural quality of blocks D and E. Whilst it is recommended that they are demolished a full structural survey will be required to understand the extent of structural integration that these elements have with the main blocks to be retained.



## Demolition Rationale

### **Boiler House, Egerton Lane – Block D/E**

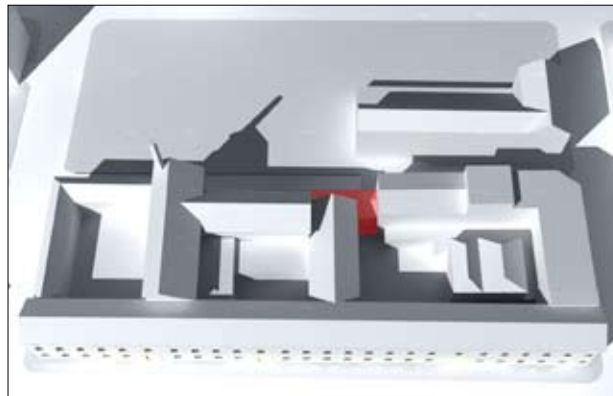
Block D was constructed at the same time as block B (circa 1850's) and is a four storey brick built building with a double pitched roof. Set into the West corner of the building is a stone plinth upon which sits an octagonal brick stack rising to 60 ft high. Block E was constructed at about the same time as block D but is separate in terms of its planning and floor levels.

**Architectural:** The facades to these buildings are brick clad with inset casement windows, these give the building a simple symmetry. It is the adjacent chimney that gives the building its architectural quality and interest.

**Structural:** Whilst both blocks D/E are structurally sound, due to the extensive remodelling and different floor levels any proposal will be structurally difficult.

**Summary:** Whilst it is recommended that they are retained due to architectural quality and positive contribution to the urban grain and massing a full structural survey will be required to understand the extent of structural integration that these elements have with the main blocks to be retained.

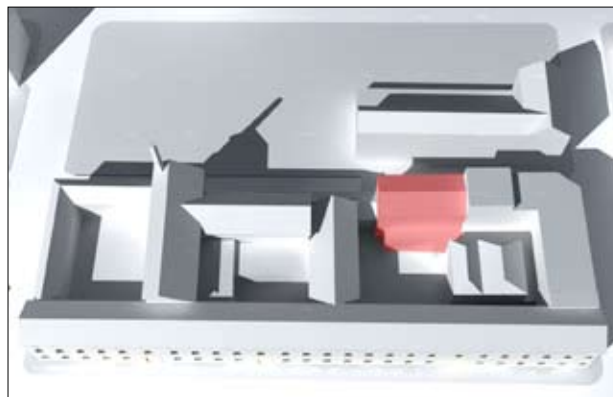
## Demolition Rationale



### **Egerton Lane (Lean to Structure) – Block F**

This structure consists of a mon pitched steel framed asbestos cement roof on an old wall, probably dating from the 1900's.

**Summary:** These buildings are principally infill structure which detract from the architectural quality of blocks D/E. Whilst it is recommended that they are demolished a full structural survey will be required to understand the extent of structural integration that these elements have with the main blocks to be retained.



### **Egerton Lane – Block G**

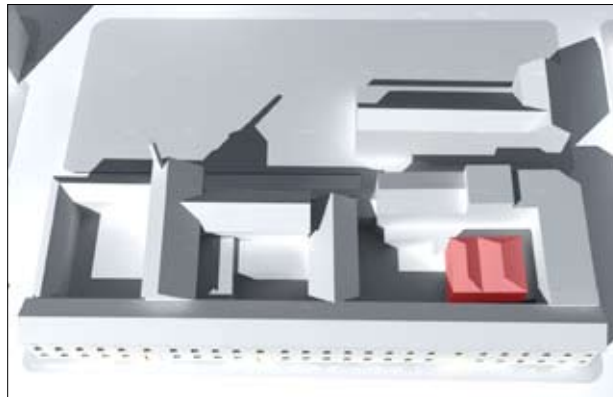
Block G was originally part of a larger block which extended onto Thomas Street, due to partial destruction by fire this has been reduced in size. This is a three storey block principally of masonry and concrete floor supported on steel beams.

**Architectural:** The facades to these buildings are brick clad with inset casement windows, there is no architectural quality and interest to this façade.

**Structural:** Block G is structurally sound.

**Summary:** It is recommended that this building is demolished due to the lack of architectural quality.

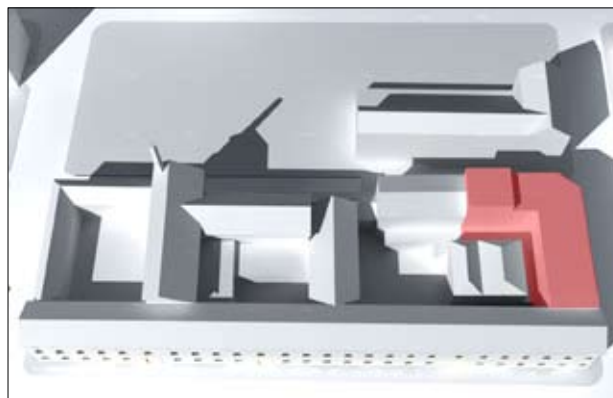
## Demolition Rationale



### Courtyard – Block H

This two storey building is an infill building within one of the original courtyards, probably early 20th Century. It has an asbestos cement sheeted roof on a rolled beam structure.

**Summary:** These buildings are principally infill structure which detract from the architectural quality of block A.. Whilst it is recommended that they are demolished a full structural survey will be required to understand the extent of structural integration that these elements have with the main blocks to be retained.



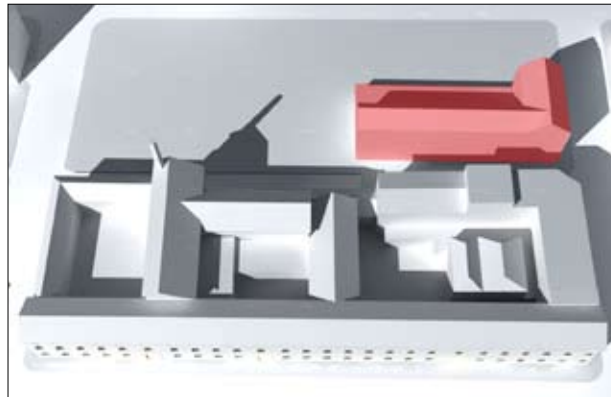
### Thomas Street – Block I

This three storey block was constructed in 1950.

**Architectural:** The facades to these buildings are brick clad with inset casement windows, there is no architectural quality and interest to this façade.

**Summary:** It is recommended that this building is demolished due to the lack of architectural quality.

## Demolition Rationale



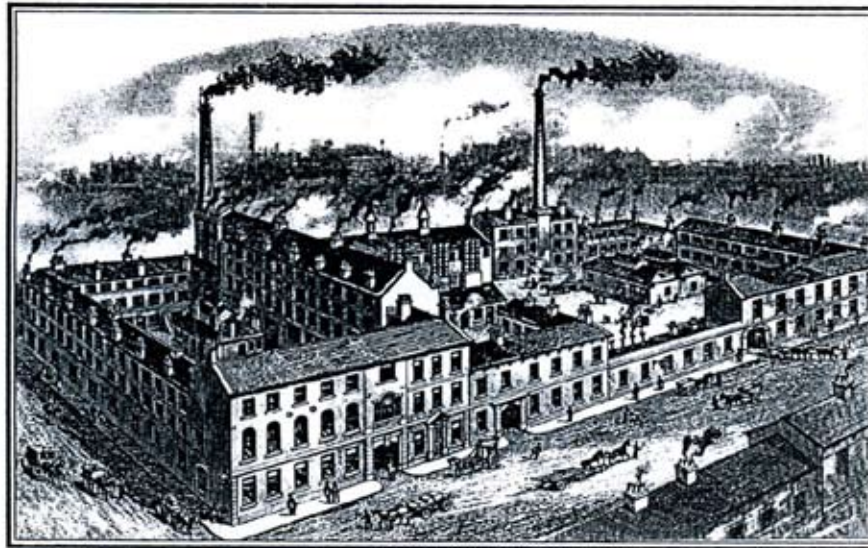
### **Thomas Street – Block J**

Block J was constructed in 1875 and is a three storey brick built building with a slated timber roof.

**Architectural:** The brick façade has inset casement windows and limited architectural decoration on the architrave detailing around the double entrance door on Thomas Street. On the return elevation along Egerton Lane there are panels of white salt glazed bricks.

**Structural:** Block J is generally structurally sound but there is heavy weathering to the facades and they will require re-pointing and repair.

**Summary:** It is recommended that this building is demolished due to the limited architectural content and the restrictions this creates in commercially developing the site. It is recommended that the double architrave to the entrance doors is retained and utilised within the proposed development.



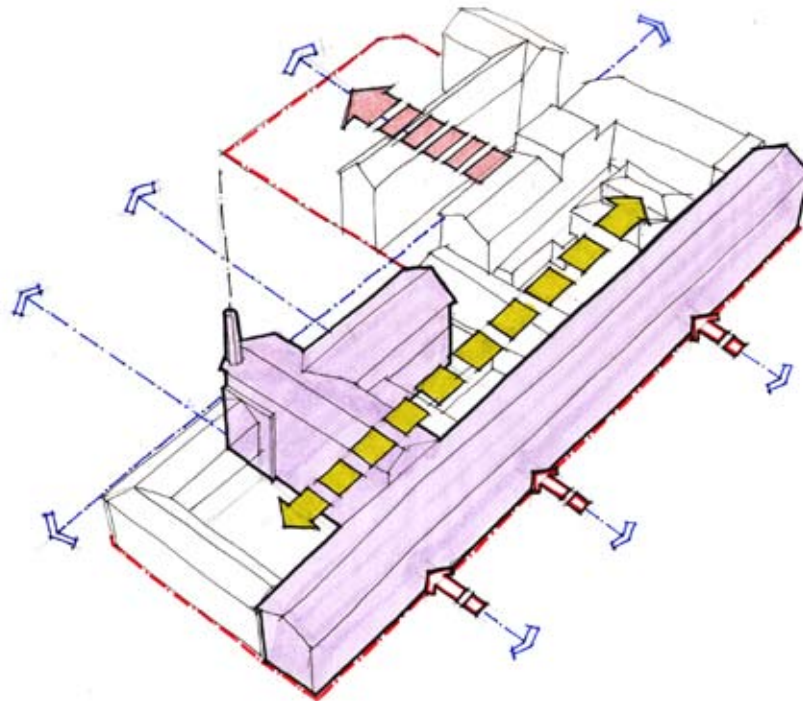
*Needham, Veall & Tyzack's Eye Witness Works in the 1890s. The view looks impressive, due to a fair degree of artistic licence, but the map of the area (overleaf) shows that the cutlery industry around Milton Street was still small-scale and dominated by courtyards and tiny factories.*

## Historical Precedent

The Eye Witness is a large steam-powered, integrated cutlery works established in the early 1850s. The works were built around three yards in several phases from this date onwards providing offices, warehousing and showrooms to the principle building along Milton Road. To the rear and clustered around the courtyards (which have latterly been filled in) were the workshop ranges containing forges, grinding and buffing.

The lithograph of the Eye witness Works in the 1890's clearly identifies the buildings which were in existence at that time. When compared to the proposed extent of demolition it is evident that:

- the proposed retention of the building approximates that of the building in the 1890's.
- all buildings of significant architectural quality within the eye witness Works complex are retained.
- the footprint of the building at this time is in principle enforced by the new interventions.
- the proposal reflects the existing Street Grid and Figure Ground, enforces Perimeter active frontage and reinstates the three courtyards.



## Development Strategy

Separation of all New Buildings from existing Mill Buildings.

Fragmentation of building form to reduce effective scale of development.

Building form and footprint reinforces the historic building footprint and courtyards.

Introduction of Linear Street, providing:

- Linear/ vertical Connectivity.
- Series of interconnected Green Spaces.
- Secure Access and principle reception/ facilities.
- Introduce Historic machinery from existing building into communal spaces.

Series of nodal points along Central Street.

Reinforce features of retained buildings by opening up existing entrances off Milton Street.

## Development Strategy

The design has been developed to take account of the existing footprint (figure ground) of the Eye Witness and Ceylon Works sites. In doing so it has been a fundamental design philosophy to:

- Reinforce active street frontage to all perimeter facades.
- Introduce series of internal courtyards
- Create linkage to Ceylon Works site.

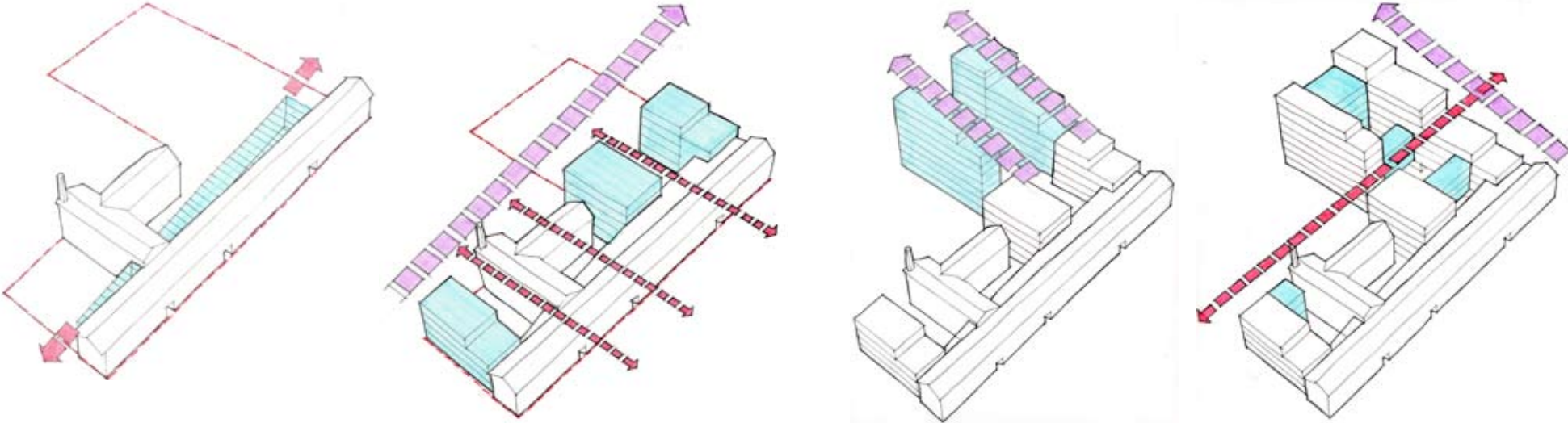


*Existing Figure Ground Study*



*Proposed Figure Ground Study*

# Development Strategy



# Ground Floor Plan



# Level 01/02 Floor Plan



# Level 03 Floor Plan



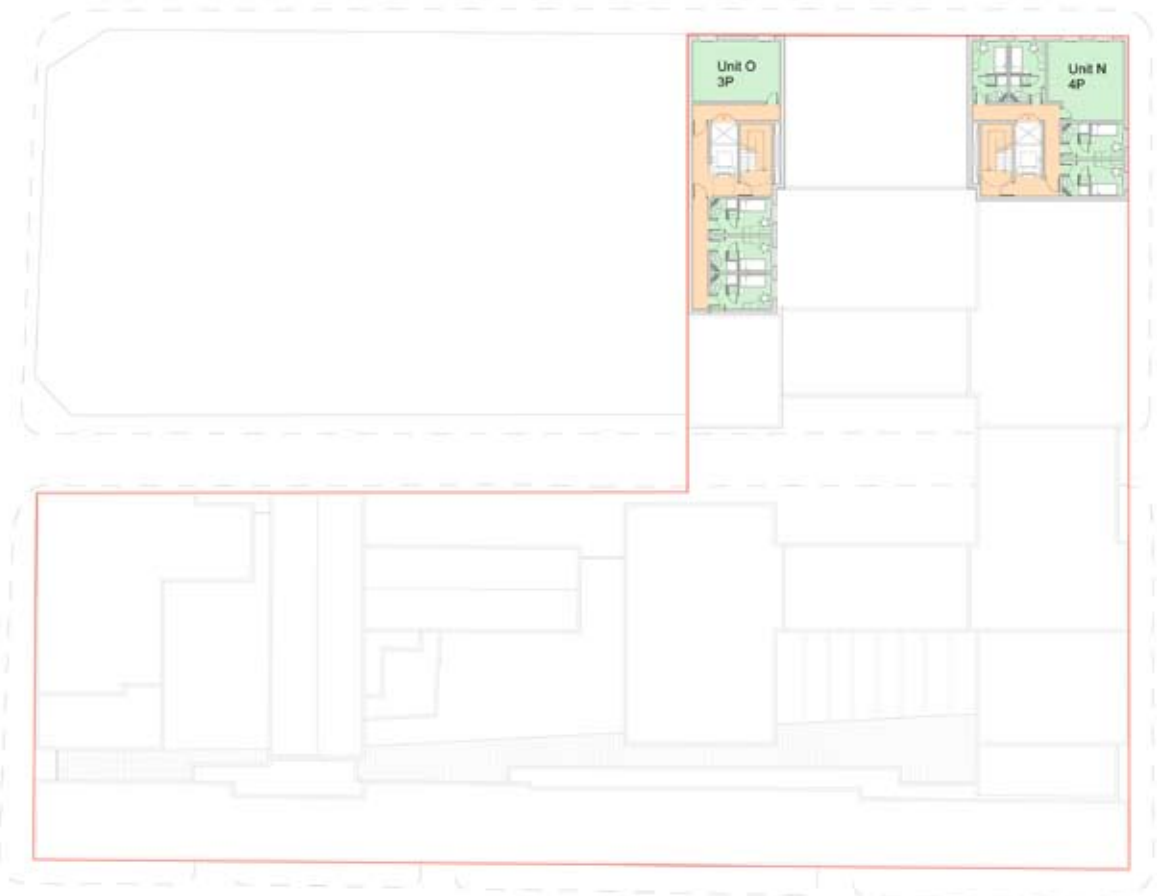
# Level 04 Floor Plan



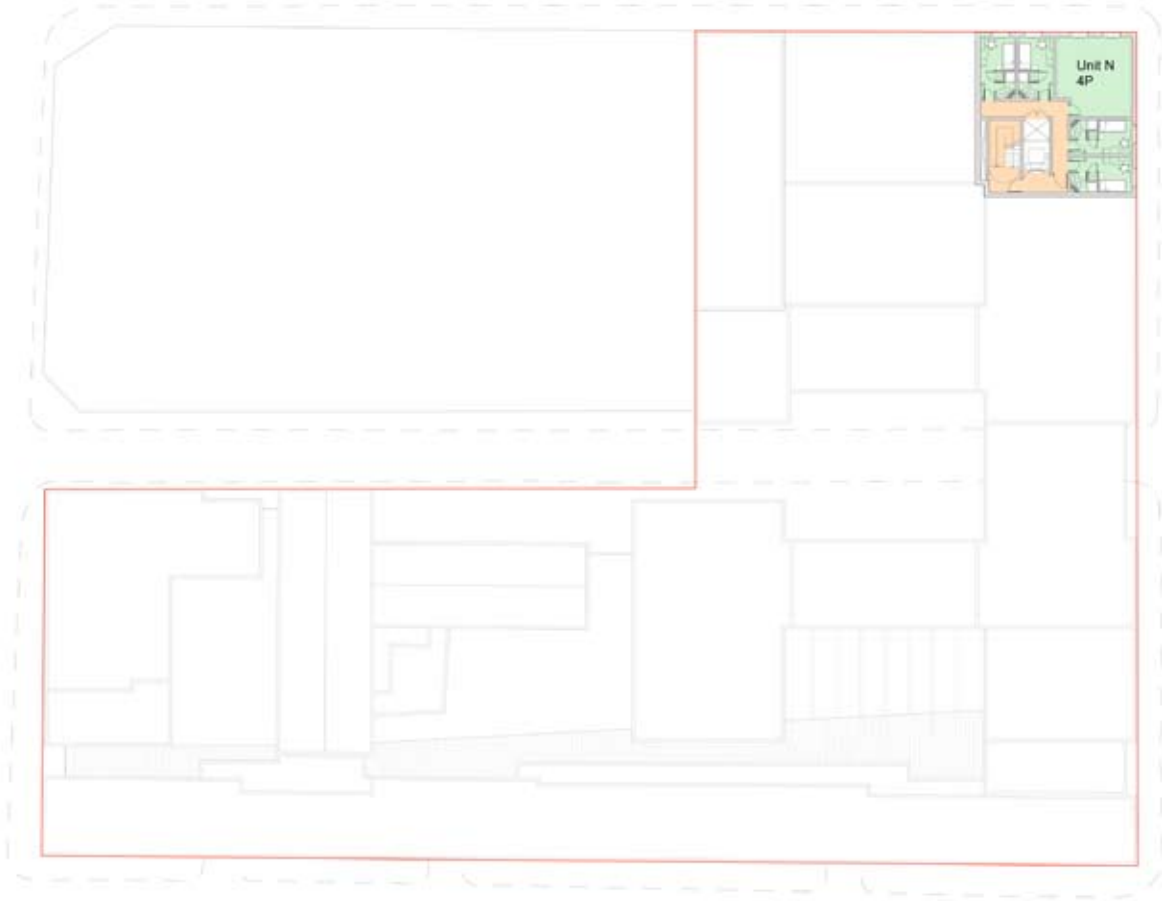
# Level 05/06 Floor Plan




# Level 07 Floor Plan



# Level 08 Floor Plan



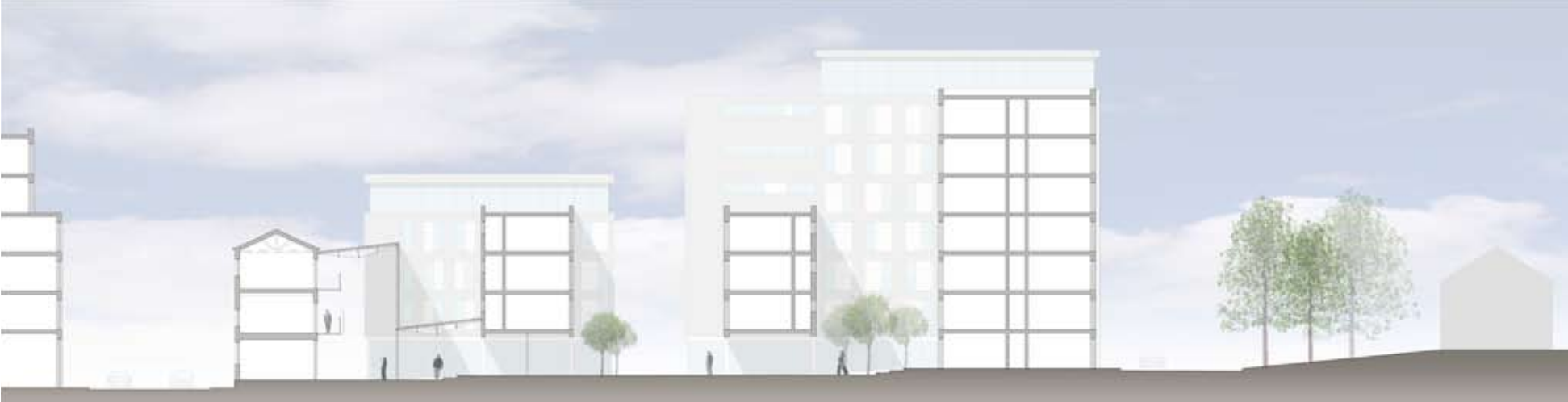
## Area Schedule

Harrison Fisher & Co Eye Witness Works Sheffield 06-028							 Bond Bryan Architects	
	Nett Internal Areas (NIA)		Gross Internal Area (GIFA)		Gross External Area (GEFA)		NIA:GIFA (%)	No. Student Rooms
	SQM	SQFT	SQM	SQFT	SQM	SQFT		
Ground Fl.	0.0	0	2,333.3	25,116	2,707.5	29,144	0.0%	65
Level 01	0.0	0	2,183.3	23,501	2,426.5	26,119	0.0%	86
Level 02	0.0	0	2,198.9	23,669	2,426.5	26,119	0.0%	86
Level 03	0.0	0	1,570.5	16,905	1,749.9	18,836	0.0%	62
Level 04	0.0	0	998.6	10,749	1,109.3	11,940	0.0%	40
Level 05	0.0	0	640.7	6,897	707.8	7,619	0.0%	25
Level 06	0.0	0	640.7	6,897	707.8	7,619	0.0%	25
Level 07	0.0	0	252.4	2,717	298.7	3,215	0.0%	7
Level 08	0.0	0	128.6	1,384	150.4	1,619	0.0%	4
	0.0	0	10,947.1	117,835	12,284.5	132,230	0.0%	400

### Site Section AA



### Site Section BB



## Massing Studies - Sheet 01



## Massing Studies - Sheet 02



## Elevation Precedent Studies



### Facade Details



Perspective View  
Thomas Street



Perspective View  
Egerton Lane

